

## Land and Environment Court New South Wales

<b>Medium Neutral Citation:</b>	<b>Sell &amp; Parker Pty Ltd v Minister for Planning [2017] NSWLEC 1586</b>
<b>Hearing dates:</b>	Conciliation conference on 19 September & 17 October 2017
<b>Date of orders:</b>	19 October 2017
<b>Decision date:</b>	19 October 2017
<b>Jurisdiction:</b>	Class 1
<b>Before:</b>	Maston AC
<b>Decision:</b>	See (4) below
<b>Catchwords:</b>	DEVELOPMENT APPLICATION: conciliation conference; agreement between the parties; orders
<b>Legislation Cited:</b>	Land and Environment Court Act 1979
<b>Category:</b>	Principal judgment
<b>Parties:</b>	Sell and Parker Pty Ltd (ACN 000 101 315) (Applicant) Minister for Planning (Respondent)
<b>Representation:</b>	Mr J Johnson, Allens(Applicant) Ms L Sims, Department of Planning (Respondent)
<b>File Number(s):</b>	2017/126126
<b>Publication restriction:</b>	No

### JUDGMENT

1 **COMMISSIONER:** In this matter, at or after a conciliation conference, an agreement under s 34(3) of the *Land and Environment Court Act 1979* (the Court Act) was reached between the parties as to the terms of a decision in the proceedings that was acceptable to the parties. As the presiding Commissioner, I was satisfied that the decision was one that the Court could have made in the proper exercise of its functions (this being the test applied by s 34(3) of the Court Act). As a consequence, s 34(3)(a) of the Act required me to “dispose of the proceedings in accordance with the decision”.

2

The Court Act also required me to “set out in writing the terms of the decision” (s 34(3) (b)). The orders made to give effect to the agreement constitute that document.

3 In making the orders to give effect to the agreement between the parties, I was not required to make, and have not made, any merit assessment of the issues that were originally in dispute between the parties.

4 The final orders to give effect to the parties’ agreement under s34(3) of the Land and Environment Court Act 1979 are:

(1) Leave is granted to the Applicant to rely on the following amended plans and documents:

<b>Document</b>	<b>Revision Date</b>	<b>Prepared by: (consultant)</b>
Drawing DA-1049-14 A101 Rev M	21/9/2017	Algorry Zappia and Associates Pty Ltd
Drawing DA-1049-14 A301 Rev H	27/9/2017	Algorry Zappia and Associates Pty Ltd
Drawing 14023-16-001-FH-01 Rev P4	25/9/2017	MJ Harvey and Associates Pty Ltd
Drawing SS15-3178-000-I	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-101-J	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-401-G	15/8/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-402-I	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-403-G	15/8/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-404-G	22/9/2017	Site Image (NSW) Pty Ltd
Drawing SS15-3178-501-I	22/9/2017	Site Image (NSW) Pty Ltd
Town Planning Report	29/9/2017	Tim Ward (Ethos Urban)
Acoustic Report	25/9/2017	Renzo Tonin and Associates

(2) The Applicant is to pay the Respondent's costs thrown away by reason of the amended plans and documents listed above under section 97B of the *Environmental Planning and Assessment Act 1979* as agreed or assessed.

- (3) The appeal is upheld.
- (4) Modification application No. SSDMod 16\_8001, is approved, subject to the conditions set out in Annexure "A".

.....

John Maston

Acting Commissioner of the Land & Environment Court of NSW

[Annexure A \(75.7 KB, pdf\)](#)

[Plans \(8.24 MB, pdf\)](#)

---

DISCLAIMER - Every effort has been made to comply with suppression orders or statutory provisions prohibiting publication that may apply to this judgment or decision. The onus remains on any person using material in the judgment or decision to ensure that the intended use of that material does not breach any such order or provision. Further enquiries may be directed to the Registry of the Court or Tribunal in which it was generated.

Decision last updated: 03 November 2017

**ANNEXURE A**

***Sell and Parker Pty Limited v Minister for Planning***

**SCHEDULE 1**

<b>Application No:</b>	SSD 5041
<b>Applicant:</b>	Sell and Parker Pty Ltd
<b>Consent Authority:</b>	Land and Environment Court of NSW
<b>Development:</b>	Increasing the processing capacity of the existing metal recycling facility, including reconfiguration and expansion of the facility into the adjoining site at 23-43 Tatersall Road, Kings Park.
<b>Date of Original Consent:</b>	12 November 2015
<b>Modification:</b>	SSD 5041 MOD 1- the modification includes amendments to the site layout, design of buildings and structures and alterations and additions to existing buildings and structures

**SCHEDULE 2**

This consent is modified as follows:

**In Schedule 1**

1. In the table of definitions, insert the following definitions in alphabetical order:  
Expanded Operations The point at which the site receives or processes in excess of 90,000 tonnes per calendar year of waste  
FRNSW Fire and Rescue New South Wales  
NCC National Construction Code  
Waste As defined in the POEO Act In Schedule 2
2. Delete and replace Condition A2 as follows:  
A2. The Applicant shall carry out the Development in accordance with the:
  - (a) EIS prepared by ERM dated July 2014;
  - (b) Response to Submissions report prepared by ERM dated 7 January 2015;
  - (c) Supplementary Response to Submissions prepared by Mecone dated 30 June 2015;

- (d) Supplementary Response to Submissions prepared by Sell and Parker Pty Ltd dated 3 September 2015;
  - (e) Site layout plans and drawings (See Appendix A);
  - (f) Management and Mitigation Measures (see Appendix B);
  - (g) Modification Application SSD 5041 MOD 1 and accompanying document titled *Statement of Environmental Effects 23-43 and 45 Tattersall Road, Kings Park* dated August 2016 prepared by Higgins Planning, additional information from Higgins Planning dated 22 December 2016, further additional information from Allens and Linklaters dated 9 February 2017 and the Town Planning Report prepared by Ethos Consulting on 29 September 2017.
3. Insert Condition B35A as follows:
- B35A. Prior to:
- (i) expanded operations;
  - (ii) the issue of an Occupation Certificate; or
  - (iii) the date being 6 months after the determination of MOD 1 by the Land and Environment Court,
- (whichever is sooner), the Applicant must ensure that an appropriate sprinkler system and smoke detection system have been installed within the floc storage area in Building C to the satisfaction of FRNSW.
4. Insert Condition E35B as follows: B35B
- Prior to:
- (i) expanded operations;
  - (ii) the issue of an Occupation Certificate; or
  - (iii) the date being 7 months after the determination of MOD 1 by the Land and Environment Court,
- (whichever is sooner), the Applicant must ensure that all fire safety measures required by the NCC for Buildings A, B, & C (as shown on drawing 14023-16-001-FH-01 Rev P4) have been installed and verified through a Fire Safety Audit in accordance with Australian Standard 4655 – Fire Safety Audits, to the satisfaction of FRNSW.
5. Delete Condition B19(viii) and replace as follows:
- (viii) installation of appropriate dust screens at the property boundary and replacement of dust screens and shade cloths at the Tattersall Road boundary of the 45 Tattersall Road site.

6. Replace all drawings in Appendix A with the following:







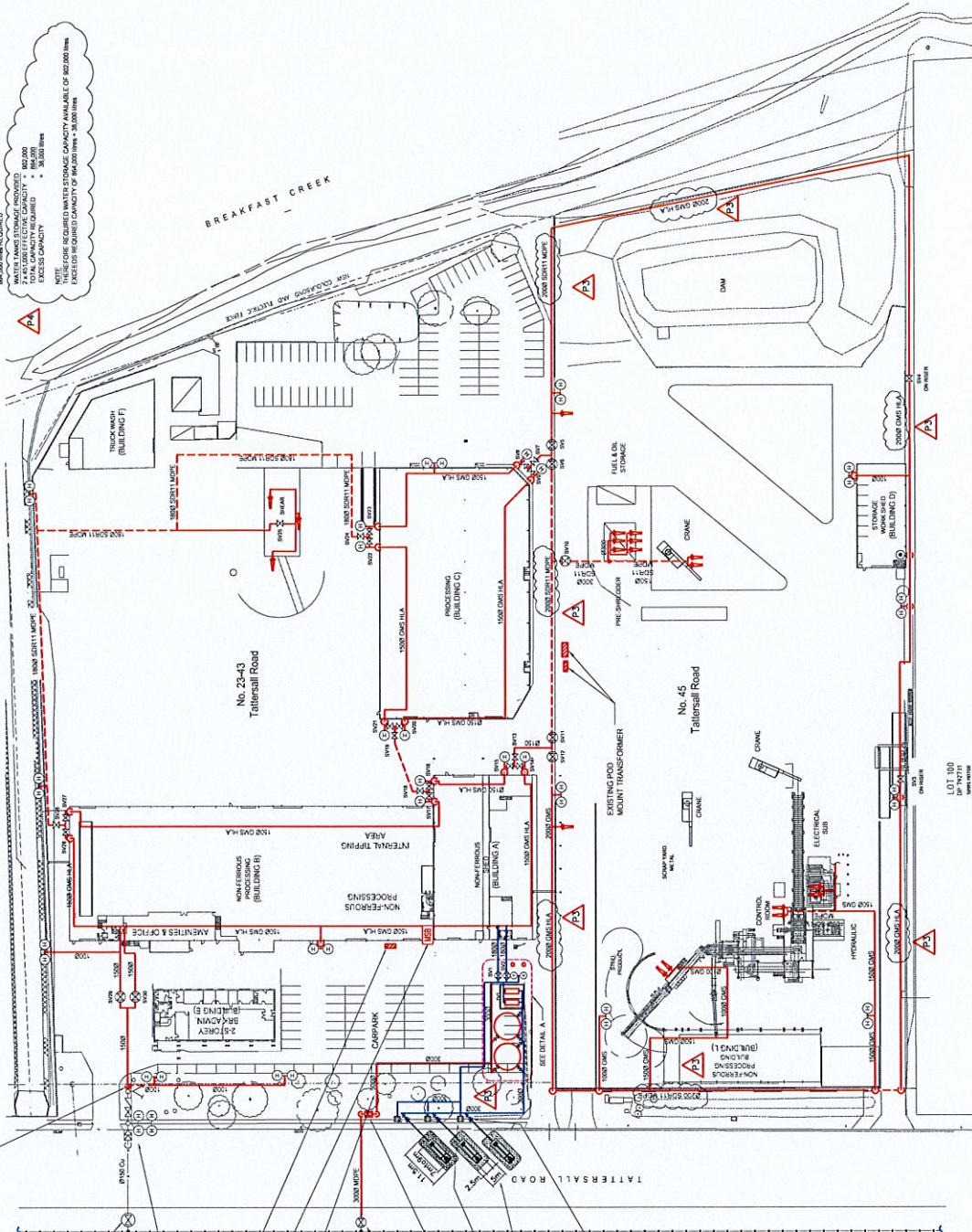
**WATER STORAGE CAPACITY IN ACCORDANCE WITH CLAUSE 4.2 OF AS 2419 2005 PART 1**

REQUIRED STORAGE:  
 7200 m³ @ 50%  
 42000 m³ @ 40%  
 171600 TOTAL STORAGE

AVAILABLE WITH: 60 DN  
 600 m @ 1.5 m/s  
 24000 m³ @ 40%  
 144000 TOTAL STORAGE CAPACITY

EXCESS CAPACITY:  
 129600 m³ @ 40%  
 144000 m³ @ 50%

NOTE: THEREFORE REQUIRED WATER STORAGE CAPACITY AVAILABLE OF 602000 m³  
 EXCESS REQUIRED CAPACITY OF 460000 m³ @ 40%  
 602000 m³ @ 50%



**LEGEND**

- ③ 50mm FIRE HOSE REEL
- ④ DOUBLE FIRE HYDRANT
- ⊗ ISOLATION VALVE IN GROUND
- ⊙ ISOLATION VALVE ABOVE GROUND
- ⊕ ROOSTER VALVE
- ⊖ STREET HYDRANT
- ⊚ MAIN ELECTRICAL SWITCHBOARD
- ⊙ FIRE HYDRANT CANON
- ⊚ FIRE HYDRANT CANON
- ⊚ 4" PIPING FROM TANK FUNCTION OUTLET & BUTTERFLY VALVE
- ⊚ 4" PIPING FROM TANK TYPE ROOSTER VALVE

**NOTES**

1. HEIGHT OF HIGHEST HYDRANT: 0.75 mms.
2. WATER COLUMN LOW VALVE: 100m.
3. WATER COLUMN LOW VALVE: 100m.
4. TOTAL FLOW RATE: 110 L/S.

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

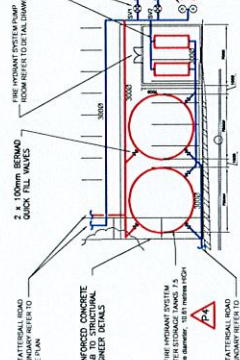
EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED

EXISTING FIRE HYDRANT VALVE IN BOX TO BE REMOVED

EXISTING FIRE HYDRANT WATER CONNECTION TO BE DISCONNECTED



www.dialbeforeyoudig.com.au

**DIAL 1100 BEFORE YOU DIG**

NO.	REVISION	DATE	BY	APPROVED BY
1	PRELIMINARY	08/05/17		
2	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
3	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
4	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
5	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	

NO.	REVISION	DATE	BY	APPROVED BY
1	PRELIMINARY	08/05/17		
2	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
3	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
4	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	
5	ISSUES DOCKED, PIPES BETWEEN SITES CONNECTED	08/07/17	M.H.	

**CLIENT:** COMMERCIAL INDUSTRIAL BUILDINGS  
 23-43 + 45 Tattersall Road,  
 HUNTERSBURG NSW 2311

**TITLE:** COMBINED SITE PLAN  
 FIRE HYDRANT & WATER CANON SYSTEMS

**PROJECT NO.:** 14\_023\_16-001\_PA\_EH-01

**DATE:** 14\_02\_16

**DESIGNER:** M.J.H. HAREY & ASSOCIATES PTY LTD.  
 HUNTERSBURG NSW 2311  
 PHONE: (02) 9758 8578 Fax: (02) 97588641

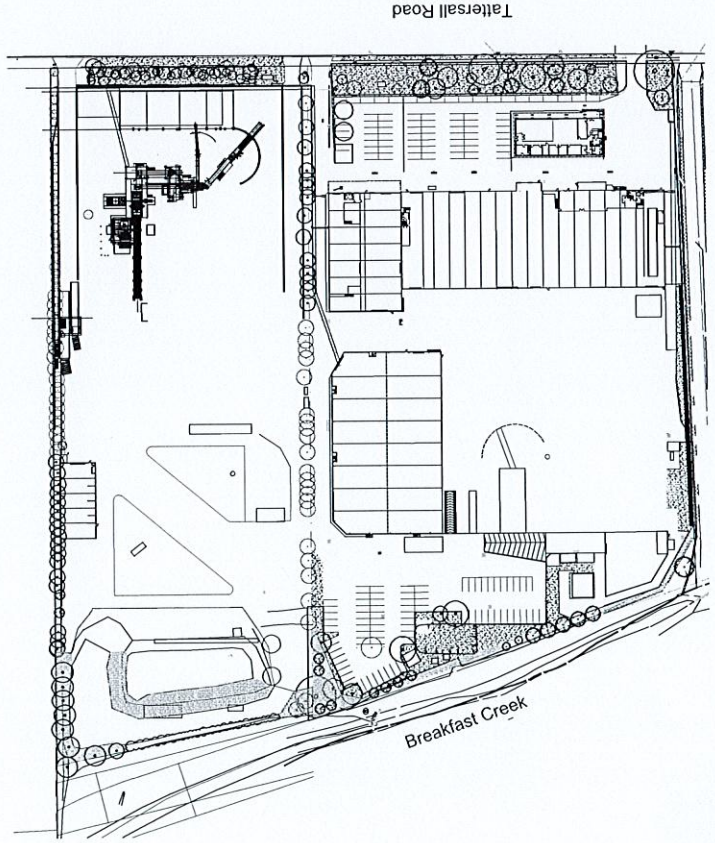
**CLIENT:** DEON SELL & PARKER  
 23-45 TATTERSALL ROAD  
 HUNTERSBURG NSW 2311  
 PHONE: (02) 9758 8578 Fax: (02) 97588641

**DATE:** 08/05/17  
**BY:** M.H.  
**CHECKED:** M.H.  
**DATE:** 27/08/16  
**PROJECT NUMBER:**

**NO.** **REVISION** **DATE** **BY** **APPROVED BY**

# PROPOSED ALTERATIONS TO EXISTING RECYCLING CENTRE 23-43 & 45 TATTERSALL RD, KINGS PARK LANDSCAPE

DRAWINGS	DWG NO.	DRAWING TITLE	SCALE
	000	COVERSHEET	N/A
	101	LANDSCAPE MASTERPLAN	1:500
	401	LANDSCAPE PLAN	1:250
	402	LANDSCAPE PLAN	1:250
	403	LANDSCAPE PLAN	1:250
	404	LANDSCAPE PLAN	1:250
	501	LANDSCAPE DETAILS	AS SHOWN



© 2016 Site Image Pty Ltd. All rights reserved. This drawing is the property of Site Image Pty Ltd and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Site Image Pty Ltd. The contractor shall verify all work on site including work by others before commencing the landscape installation. Any alterations are to be made to the drawing at the contractor's risk. Do not make any changes. Any required consultation not shown shall be referred to the Landscape Architect for confirmation.

REV	DATE	DESCRIPTION
1	15.08.2017	Final Design
2	15.08.2017	Final Design
3	15.08.2017	Final Design
4	15.08.2017	Final Design
5	15.08.2017	Final Design
6	15.08.2017	Final Design
7	15.08.2017	Final Design
8	15.08.2017	Final Design
9	15.08.2017	Final Design
10	15.08.2017	Final Design
11	15.08.2017	Final Design
12	15.08.2017	Final Design
13	15.08.2017	Final Design
14	15.08.2017	Final Design
15	15.08.2017	Final Design
16	15.08.2017	Final Design
17	15.08.2017	Final Design
18	15.08.2017	Final Design
19	15.08.2017	Final Design
20	15.08.2017	Final Design
21	15.08.2017	Final Design
22	15.08.2017	Final Design
23	15.08.2017	Final Design
24	15.08.2017	Final Design
25	15.08.2017	Final Design
26	15.08.2017	Final Design
27	15.08.2017	Final Design
28	15.08.2017	Final Design
29	15.08.2017	Final Design
30	15.08.2017	Final Design
31	15.08.2017	Final Design
32	15.08.2017	Final Design
33	15.08.2017	Final Design
34	15.08.2017	Final Design
35	15.08.2017	Final Design
36	15.08.2017	Final Design
37	15.08.2017	Final Design
38	15.08.2017	Final Design
39	15.08.2017	Final Design
40	15.08.2017	Final Design
41	15.08.2017	Final Design
42	15.08.2017	Final Design
43	15.08.2017	Final Design
44	15.08.2017	Final Design
45	15.08.2017	Final Design
46	15.08.2017	Final Design
47	15.08.2017	Final Design
48	15.08.2017	Final Design
49	15.08.2017	Final Design
50	15.08.2017	Final Design
51	15.08.2017	Final Design
52	15.08.2017	Final Design
53	15.08.2017	Final Design
54	15.08.2017	Final Design
55	15.08.2017	Final Design
56	15.08.2017	Final Design
57	15.08.2017	Final Design
58	15.08.2017	Final Design
59	15.08.2017	Final Design
60	15.08.2017	Final Design
61	15.08.2017	Final Design
62	15.08.2017	Final Design
63	15.08.2017	Final Design
64	15.08.2017	Final Design
65	15.08.2017	Final Design
66	15.08.2017	Final Design
67	15.08.2017	Final Design
68	15.08.2017	Final Design
69	15.08.2017	Final Design
70	15.08.2017	Final Design
71	15.08.2017	Final Design
72	15.08.2017	Final Design
73	15.08.2017	Final Design
74	15.08.2017	Final Design
75	15.08.2017	Final Design
76	15.08.2017	Final Design
77	15.08.2017	Final Design
78	15.08.2017	Final Design
79	15.08.2017	Final Design
80	15.08.2017	Final Design
81	15.08.2017	Final Design
82	15.08.2017	Final Design
83	15.08.2017	Final Design
84	15.08.2017	Final Design
85	15.08.2017	Final Design
86	15.08.2017	Final Design
87	15.08.2017	Final Design
88	15.08.2017	Final Design
89	15.08.2017	Final Design
90	15.08.2017	Final Design
91	15.08.2017	Final Design
92	15.08.2017	Final Design
93	15.08.2017	Final Design
94	15.08.2017	Final Design
95	15.08.2017	Final Design
96	15.08.2017	Final Design
97	15.08.2017	Final Design
98	15.08.2017	Final Design
99	15.08.2017	Final Design
100	15.08.2017	Final Design

**LEGEND**

- I LCC Dimensions
- H Revised Contour
- G Revised for the Services
- E Revised for the Services
- E Revised for the Services
- C Construction conditions
- B General Revision
- A Proposed Installation
- Note Revision Description

Key Plan:



Client:  
Sell and Parker Pty Ltd

Project:  
Proposed Alterations to  
Existing Recycling Center  
23 & 45 Tattersall Rd, Kings Park

SITE IMAGE  
Landscape Architects  
Level 1, 15, South Street  
Sydney NSW 2018  
Australia  
Tel: (61 2) 9633 3677  
Fax: (61 2) 9633 3677  
www.siteimage.com.au  
Site Image Pty Ltd  
ABN 62 742 282

CONSTRUCTION CERTIFICATE  
Drawing Name:  
Coversheet

Scale:  
Job Number:  
Drawing Number:  
Sheet:  
SS15-3178  
000 1

NOT FOR CONSTRUCTION

© 2018 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and the property of Site Image (NSW) Pty Ltd. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without the written permission of Site Image (NSW) Pty Ltd. This drawing is provided as a guide only and does not constitute a contract. The client is responsible for ensuring that the drawing is used in accordance with the terms and conditions of the agreement between Site Image (NSW) Pty Ltd and the client.

Drawn	Checked	Date
JL	NM	22.03.2017
SM	NM	23.03.2017
SM	NM	13.02.2017
SM	NM	31.01.2017
JL	NM	18.12.2016
JL	NM	18.12.2016
SM	NM	04.10.2016
SM	NM	15.09.2016
JW	NM	17.02.2016
JW	NM	17.02.2016

- J LEC Amendments
- A Approved for construction
- C Approved for construction
- H Revised for the services
- I Updated landscaping
- E Updated landscaping
- D Construction certificate
- B General Remarks
- A For Comment
- None Revision Description

**LEGEND**

- Site Boundary
- Existing vegetation to be retained, with additional landscape vegetation
- Turf
- Existing tree to be removed
- Existing tree to be retained
- Proposed tree planting



Client: Sell and Parker Pty Ltd

Project: Proposed Alterations to Existing Recycling Center  
23 & 45 Tattersall Rd, Kings Park

**SITE IMAGE**

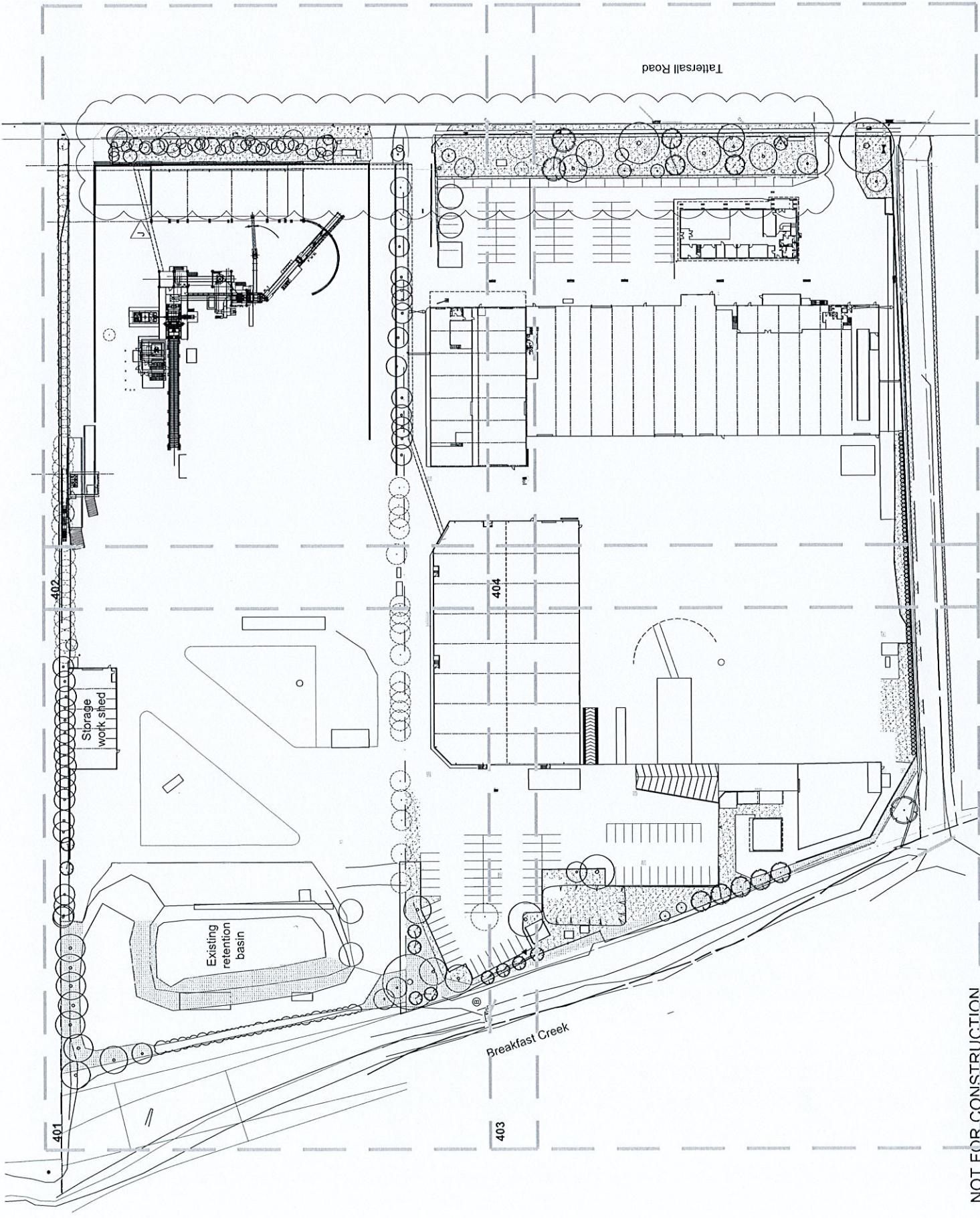


Level: 1 - 3d Project Close  
Date: 17/02/2018  
Australia  
Tel: (61 2) 8332 0000  
www.siteimage.com.au  
Site Image (NSW) Pty Ltd  
Abn 64 601 742 280

**CONSTRUCTION CERTIFICATE**  
Landscape Masterplan

Drawing Name:

Scale: 1:500 @ A1  
Job Number: 101 J  
Drawing Number: SS-15-3178



NOT FOR CONSTRUCTION

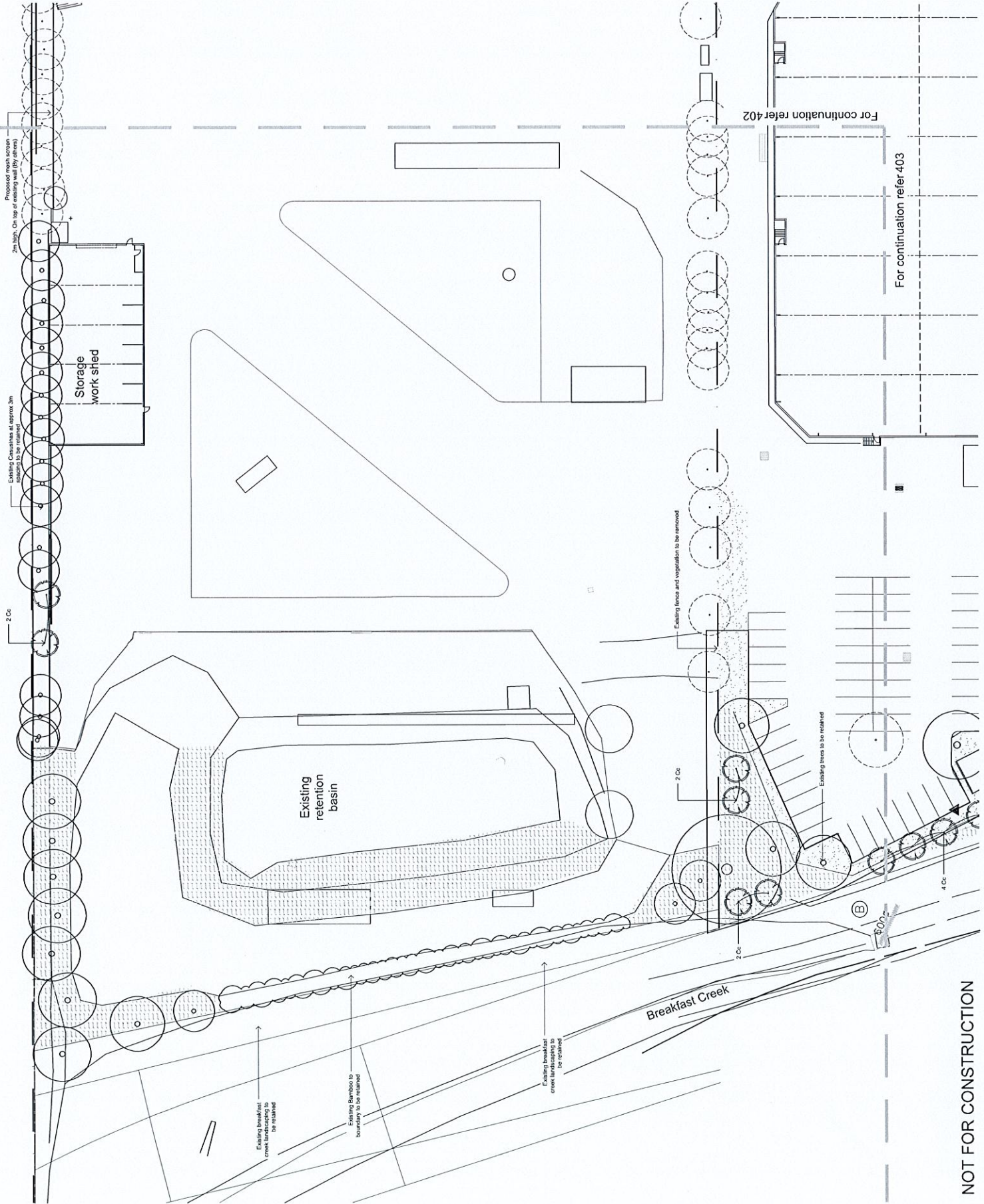
© 2014 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and may not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage or retrieval system, without the written permission of Site Image (NSW) Pty Ltd. This drawing is the property of Site Image (NSW) Pty Ltd and is loaned to the client for the purposes of the project only. It is not to be used for any other purpose without the written permission of Site Image (NSW) Pty Ltd.

The architect and client agree that any and all works on this site are subject to the relevant local council's development consent. Any alterations to this site must be approved by the relevant local council. The client acknowledges that the client is responsible for obtaining all necessary development consents and for complying with all relevant legislation and regulatory requirements. The architect and client agree that the client is responsible for obtaining all necessary development consents and for complying with all relevant legislation and regulatory requirements. The architect and client agree that the client is responsible for obtaining all necessary development consents and for complying with all relevant legislation and regulatory requirements.

JD 18/12/2017  
 JD 18/12/2018  
 SM 04/03/2016  
 JW 17/03/2016  
 JW 17/03/2016  
 JW 17/03/2016  
 JW 17/03/2016

G Revised contract  
 H Finalisation of design  
 I Finalisation of construction  
 J Construction certificate  
 K Construction commencement  
 L General alterations  
 M Finalisation of construction  
 N Finalisation of construction  
 O Finalisation of construction

Legend:  
 [Symbol] Site boundary  
 [Symbol] Existing vegetation to be retained  
 [Symbol] Existing vegetation to be removed  
 [Symbol] Turf  
 [Symbol] Existing trees to be retained  
 [Symbol] Existing trees to be removed  
 [Symbol] Proposed new planting



Proposed rock screen  
2m high. On top of existing wall (if shown)

Existing Chionochloa at approx 3m  
height to be retained

Storage  
work shed

Existing  
retention  
basin

Breakfast Creek

For continuation refer 402

For continuation refer 403

NOT FOR CONSTRUCTION

Client: Sell and Parker Pty Ltd

Project: Proposed Alterations to Existing Recycling Center 23 & 45 Tattersal Rd, Kings Park

SITE IMAGE  
 Level 1, 35, Bruce Street  
 Sydney NSW 1587  
 Australia  
 Tel: (61) 2 9333 5602  
 Fax: (61) 2 9333 5603  
 www.siteimage.com.au  
 Site Image (NSW) Pty Ltd  
 ABN 64 631 392 380

CONSTRUCTION CERTIFICATE  
 Landscape Plan

Drawing Name:  
 Scale: 1:250 @ A1  
 Job Number: SS15-3178  
 Drawing Number: 401 G  
 Sheet: 401 G



© 2014 Site Image Pty Ltd. All rights reserved. This drawing is copyright and not to be reproduced or used in any way without the written permission of Site Image Pty Ltd. Any reproduction or use of this drawing without the written permission of Site Image Pty Ltd is prohibited. The drawings are prepared for a specific project and are not to be used for any other project without the written permission of Site Image Pty Ltd and the issuing authority.

The contractor shall check and verify all work on the construction site with the client before commencing the landscape installation. Any discrepancies or omissions shall be reported to the client immediately. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the safety of the site during construction. The contractor shall be responsible for the removal of all debris and waste from the site. The contractor shall be responsible for the protection of all existing trees and structures. The contractor shall be responsible for the completion of the landscape within the specified time frame. The contractor shall be responsible for the maintenance of the landscape for a period of 12 months after completion. The contractor shall be responsible for the replacement of any plants that die within the first 12 months. The contractor shall be responsible for the watering of the plants during the first 12 months. The contractor shall be responsible for the removal of any weeds and grasses that are not specified in the drawing. The contractor shall be responsible for the overall appearance of the site during construction. The contractor shall be responsible for the safety of the site during construction. The contractor shall be responsible for the protection of all existing trees and structures. The contractor shall be responsible for the completion of the landscape within the specified time frame. The contractor shall be responsible for the maintenance of the landscape for a period of 12 months after completion. The contractor shall be responsible for the replacement of any plants that die within the first 12 months. The contractor shall be responsible for the watering of the plants during the first 12 months. The contractor shall be responsible for the removal of any weeds and grasses that are not specified in the drawing. The contractor shall be responsible for the overall appearance of the site during construction.

JD	NM	15.03.2017
JR	NM	15.03.2017
JL	NM	15.03.2016
JM	NM	04.03.2016
JN	NM	17.03.2016
JO	NM	17.03.2016
JP	NM	17.03.2016
JQ	NM	17.03.2016
JR	NM	17.03.2016
JS	NM	17.03.2016
JT	NM	17.03.2016
JU	NM	17.03.2016
JV	NM	17.03.2016
JW	NM	17.03.2016
JX	NM	17.03.2016
JY	NM	17.03.2016
JZ	NM	17.03.2016
Other	Check	0/00

G	Revised drawing
H	Revised drawing
I	Revised drawing
J	Revised drawing
K	Revised drawing
L	Revised drawing
M	Revised drawing
N	Revised drawing
O	Revised drawing
P	Revised drawing
Q	Revised drawing
R	Revised drawing
S	Revised drawing
T	Revised drawing
U	Revised drawing
V	Revised drawing
W	Revised drawing
X	Revised drawing
Y	Revised drawing
Z	Revised drawing

**LEGEND**

[Symbol]	Site Boundary
[Symbol]	Existing vegetation to be retained, with additional irrigated vegetation
[Symbol]	Turf
[Symbol]	Existing tree to be removed
[Symbol]	Existing tree to be retained
[Symbol]	Proposed tree planting



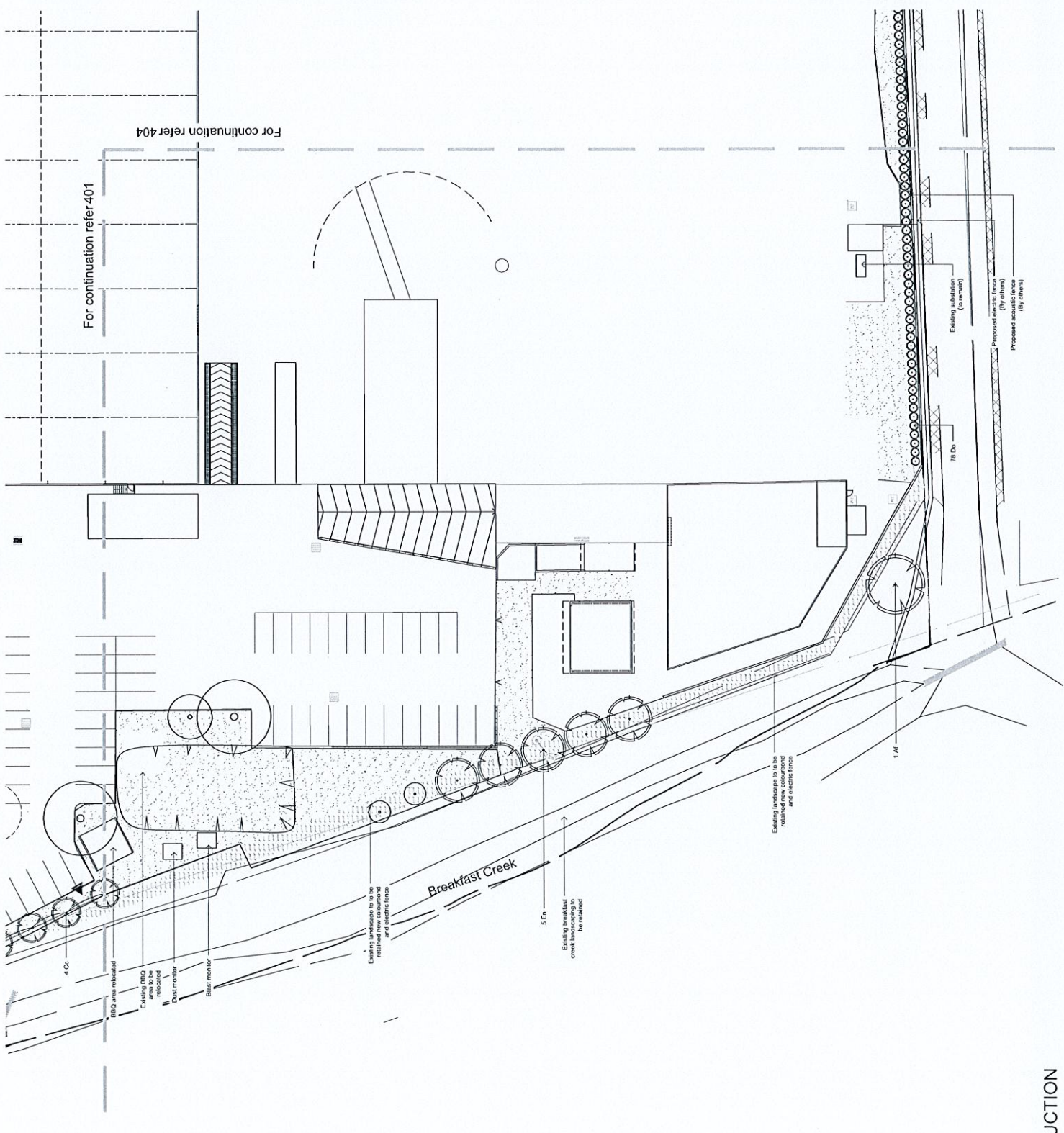
Client: **Sell and Parker Pty Ltd**

Project: **Proposed Alterations to Existing Recycling Center 23 & 45 Tattersall Rd, Kings Park**

**SITE IMAGE**  
 Level 15, 105/120 Stirling Avenue  
 Tel: 08 71 833 9693  
 www.siteimage.com.au  
 Site Image Pty Ltd  
 ABN 49 149 209 121

**CONSTRUCTION CERTIFICATE**  
 Drawing Name: **Landscape Plan**

Scale: 1:250 @ A1  
 Drawing Number: **403 G**  
 Job Number: **SS15-31178**



**NOT FOR CONSTRUCTION**

© 2016 Site Image (NSW) Pty Ltd. All rights reserved. This drawing is copyright and the property of Site Image (NSW) Pty Ltd. It is to be used for the specific project and site only. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage or retrieval system, without the written permission of Site Image (NSW) Pty Ltd. This drawing is to be used in conjunction with the site plan and any other documents for any purposes to be used in accordance with the terms of the agreement between Site Image (NSW) Pty Ltd and the client.

The architect shall check and certify all work on site. Retaining work by others shall be confirmed by the architect's seal. Any alterations to the drawing shall be made in accordance with the architect's seal. Any retained construction work shall be sealed in accordance with the architect's seal.

JD	NS	22.08.2017
JD	NS	19.08.2017
JD	NS	13.03.2016
SM	NS	04.10.2016
SM	NS	04.10.2016
JW	NS	17.03.2016
JW	NS	13.02.2016
JW	NS	13.02.2016
Drawn	Check	Date

- G LEC Alterations
- E Existing site plan
- E Existing site plan
- D Construction certificate
- S Site plan
- S General location
- A For Client
- Notes Revision description

**LEGEND**

	Site boundary
	Existing vegetation to be retained
	Existing vegetation to be removed
	Turf
	Existing trees to be retained
	Existing trees to be removed
	Proposed tree planting

Key Plan:



Client: Sell and Parker Pty Ltd

Project: Proposed Alterations to Existing Recycling Center 23 & 45 Tattersall Rd, Kings Park

SITE IMAGE



Level 1, 3rd Floor Street  
 Australia  
 Tel: 011 2 8322 5600  
 Fax: 011 2 8322 5601  
 www.siteimage.com.au  
 Site Image (NSW) Pty Ltd  
 ABN 44 611 742 380

CONSTRUCTION CERTIFICATE

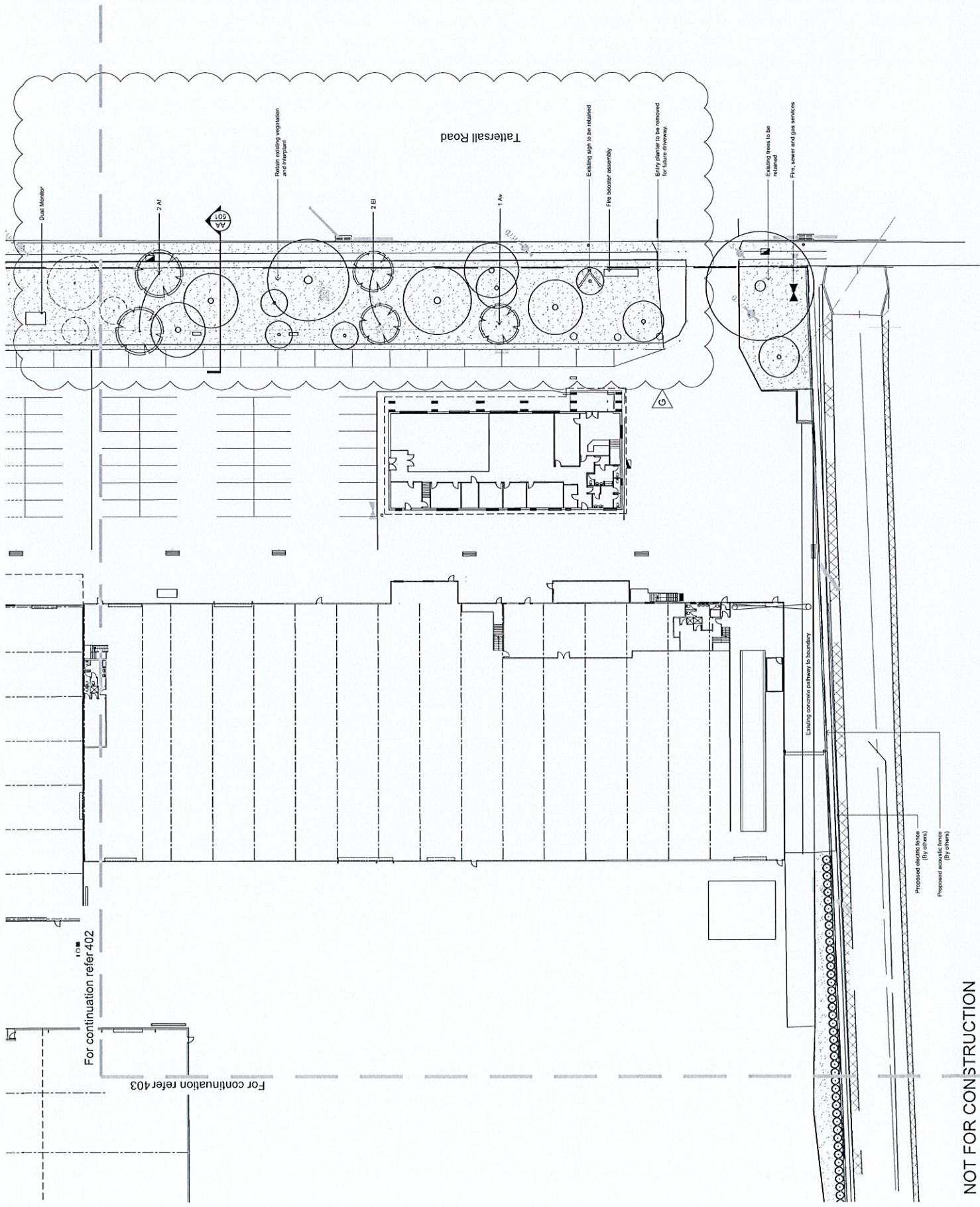
Drawing Name: Landscape Plan

Scale: 1:250 @ A1

Job Number: SS15-3178

Drawing Number: 404

Sheet: G



For continuation refer 402

For continuation refer 403

NOT FOR CONSTRUCTION

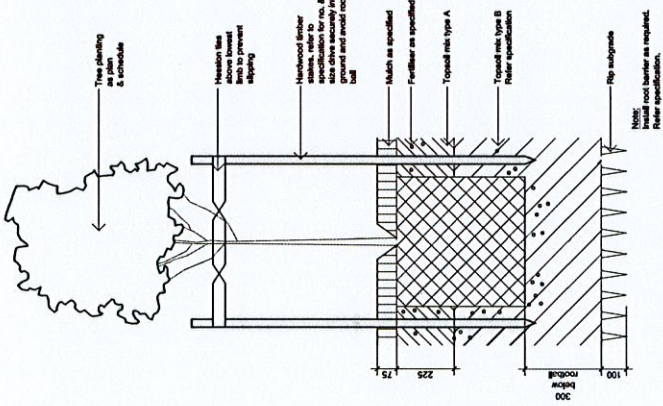
© 2016 Sell and Parker Pty Ltd. All rights reserved. This drawing is copyright of Sell and Parker Pty Ltd. It is not to be used for any other project without the written permission of Sell and Parker Pty Ltd. The information contained herein is for the use of the client only and is not to be used for any other purpose. The information contained herein is not to be used for any other purpose. The information contained herein is not to be used for any other purpose.

**LEGEND**

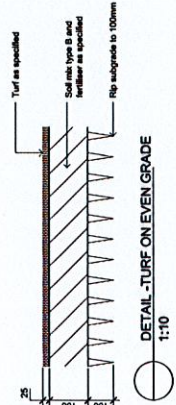
1	EC	Excavation
2	GR	Gravel
3	SM	Subgrade
4	CM	Concrete
5	CM	Concrete
6	CM	Concrete
7	CM	Concrete
8	CM	Concrete
9	CM	Concrete
10	CM	Concrete
11	CM	Concrete
12	CM	Concrete

### Maintenance Schedule

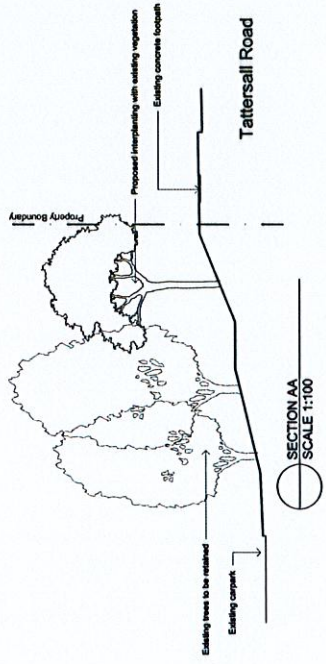
Table	ACTIVITY	FREQUENCY				ACTION
		1	2	3	4	
1	Logbook	+	+	+	+	Complete a logbook entry every day at site and fill in at least every two weeks. The logbook should be maintained in a logbook folder. Upon request, make the logbook available for inspection. The logbook should be submitted to the Contract Administrator on a monthly basis. Please note that the logbook is a record of work done and should not be used as a means to allocate blame. The logbook should be maintained in a logbook folder and should be available for inspection at all times. The logbook should be maintained in a logbook folder and should be available for inspection at all times.
2	Plant replacement	+	+	+	+	Inspect and replace failed plants within 2 weeks of observation of failure. The replacement plant should be of a similar or better quality to the original plant. The replacement plant should be of a similar or better quality to the original plant. The replacement plant should be of a similar or better quality to the original plant.
3	Mulch	+	+	+	+	Inspect and replace mulch within 2 weeks of observation. Prior to phasing out mulch, ensure the soil is free of weeds and other plants. Do not disturb major plant roots while applying mulch. If it can be expected that mulch will have significantly broken-down after 12 months, then it should be replaced. The mulch should be applied to a depth of 100mm. The mulch should be applied to a depth of 100mm. The mulch should be applied to a depth of 100mm.
4	Emson control	+	+	+	+	Inspect every two weeks and report any weeds to the Contract Administrator. Maintain emson control devices as necessary. Emson control devices should be checked for additional emson control devices. Emson control devices should be checked for additional emson control devices. Emson control devices should be checked for additional emson control devices.
5	Stakes and ties	+	+	+	+	Inspect every two weeks and report any stakes and ties to the Contract Administrator. Stakes and ties should be replaced as necessary. Stakes and ties should be replaced as necessary. Stakes and ties should be replaced as necessary.
6	Weeds and rubbish removal	+	+	+	+	Inspect and remove weeds and rubbish every two weeks. Weeds should be removed as soon as they are observed. Weeds should be removed as soon as they are observed. Weeds should be removed as soon as they are observed.
7	Pruning	+	+	+	+	Inspect every two weeks and prune as necessary to remove dead wood. Pruning should be done to maintain the health of the plant. Pruning should be done to maintain the health of the plant. Pruning should be done to maintain the health of the plant.
8	Spraying	+	+	+	+	Inspect every two weeks and spray as necessary to control weeds. Spraying should be done to maintain the health of the plant. Spraying should be done to maintain the health of the plant. Spraying should be done to maintain the health of the plant.
9	Ligert works	+	+	+	+	Inspect every 1 week (7 days) of ligert works. Ligert works should be inspected as soon as they are observed. Ligert works should be inspected as soon as they are observed. Ligert works should be inspected as soon as they are observed.
10	Planting and fertilising	+	+	+	+	Inspect every 2 weeks and remove any weeds. Plants should be fertilised as necessary. Plants should be fertilised as necessary. Plants should be fertilised as necessary.
11	Watering	+	+	+	+	Water plants and water necessary every day at site and at least every 2 weeks. Watering should be done to maintain the health of the plant. Watering should be done to maintain the health of the plant. Watering should be done to maintain the health of the plant.
12	Mowing, top-dressing and edging	+	+	+	+	Mow lawns every 2 weeks. Top-dress lawns as necessary. Edging should be done to maintain the health of the plant. Edging should be done to maintain the health of the plant. Edging should be done to maintain the health of the plant.



**DETAIL - 75-200L TREE PLANTING ON GRADE**  
SCALE 1:10



**DETAIL - TURF ON EVEN GRADE**  
SCALE 1:10



**SECTION AA**  
SCALE 1:100

Symbol	Botanic Name	Common Name	Mature Size (h x w)	Pod Size	Spreading	Qty
<b>TREES</b>						
AI	Albizia julibrissin	Rough-Barked Apple	20 x 8	100L	As Shown	3
AV	Albizia julibrissin	Cracking She-Oak	8 x 7	100L	As Shown	1
CB	Casearia cunninghamii	River She-Oak	20 x 6	100L	As Shown	10
CC	Casearia cunninghamii	River She-Oak	7 x 5	100L	As Shown	5
EB	Encasaria cunninghamii	Water Paperbark	2.5 x 3	100L	As Shown	1
EM	Encasaria cunninghamii	Water Paperbark	4 x 3	100L	As Shown	3
DM	Distachlis spicata	Grass	15 x 2	300mm	As Shown	78

**Sell and Parker Pty Ltd**

**Proposed Alterations to Existing Recycling Center**  
23 & 45 Tattersall Rd, Kings Park

**SITE IMAGE**

**CONSTRUCTION CERTIFICATE**

Level 1, 30 Buxton Street  
Kings Park, WA 6015  
Tel: 08 9442 2000  
www.sellandparker.com.au  
sellandparker@sellandparker.com.au  
Sales and Support: 08 9442 2000

**Landscaping Details**

Scale: 1:250 @ A1  
Job Number: SS15-3178  
Drawing Number: 501 I

NOT FOR CONSTRUCTION